



**FENCE CONSTRUCTION PERMIT APPLICATION**

Revised 9 / 2024

Property Information:	
Property Owner:	
Construction Address:	City / State / Zip:
Parcel Number:	Lot #
Zoning:	Total Acreage on Lot:

Staff Use:	
Permit Number:	
Approved / Denied	
Zoning Inspector	
Date Approved:	
App #	Receipt #

Applicant Information:		
Name:		
Address:		
City:	State:	Zip:
Phone:	Email:	

Contractor / Builder Information:		
Name:		
Address:		
City:	State:	Zip:
Phone:	Email:	

Fence Description:			
Overall Fence Length:	Overall Fence Width:	Fence Height: (From Ground to Top)	
Fence Use:	Construction Material:	Gated / Non-Gated:	
Distance From Left Property Line to Fence:	Distance From Rear Property Line to Fence:	Distance From Right Property Line to Fence:	
Fence is for Residential, Commercial or Industrial Use:			
Is Any Portion Of Fence Constructed In Easement Area on Property:		Has OOPS / Call Before You Dig Been Contacted?	
Agricultural Farm Exemption: (Specific)		Construction Cost for Fence Installation:	

Required Documentation to Submit to American Township Zoning Department
Submit a site drawing of the property area. Show location of all streets, the residence, the driveway, and location of any existing accessory structures within the proposed fence location. This includes swimming pools, accessory buildings, etc.
<ul style="list-style-type: none"> <li>Show ALL PROPERTY LINES on drawing. Show location of the fence in rear yard, and show the distance the fence is from property line.</li> <li>Indicate location of new fence dimensions (Length, Width, Height).</li> <li>Show any easement areas on the property (Rear Yard and/ or Side Yard) Ensure these are clearly identified on drawing. Absent of this information will result in application being returned for the required information. It is the property owner's responsibility to know the location of their property lines and any easement areas.</li> <li>Submit one (1) color copy of a rendering depicting what the fence will look like.</li> </ul>

**27.5.27 FENCE USE REGULATED**

- A. Fences shall require a permit issued by the American Township Zoning Office, after application, site plan, and permit fees have been paid. Any false, inaccurate, or misleading information submitted in the application will be cause for permit denial.
- B. Fences shall be installed within the property owner's property line. There shall be adequate clearance on the adjacent side of the fence for routine maintenance, mowing, trimming.
- C. Fences may be permitted on the property line, however written permission from adjoining property owners shall be documented and submitted with fence application identifying who is responsible for care and upkeep of the fence.
- D. Fences in all zoned locations shall be maintained in good condition, repaired as needed in a timely fashion, and kept free of debris, weeds, and overgrown vegetation. A working gate and lock shall be required to allow access to/from.
- E. Fences shall be painted, treated, or other suitable forms of preventative maintenance measure utilized to maintain its up kept condition.
- F. Residential fences shall be constructed of wood, vinyl, composite, aluminum, wrought iron, or chain link materials. Residential fences shall be constructed at a height not to exceed six-(6) feet as measured from common ground to top of fence panel, board, or post. Chain link fences shall not exceed the height of four-(4) feet in height as measured from common ground to top of the fence. Support post for chain link fences may extend no more than six-(6) inches above the fence fabric height.
- G. Fences may be constructed within the rear and side yard areas and shall not extend forward than the rear corners or the rear building line of the principal structure. Fences shall furthermore be built consistent with current placement of adjacent properties owners having fences, so as to produce a uniform placement among property owners.
- H. Fences shall be uniform in overall construction with the same / similar building materials. Fences may be constructed in either a horizontal or vertical pattern with the flat or finished side facing outwards to adjoining properties, with support beams facing inwards to homeowner's property.
- I. Fences shall not be constructed to block, divert, or channelize storm water runoff to adjacent property owners. Ample spacing on the bottom of the fence shall always be maintained to allow for unimpeded storm water drainage.
- J. All fences shall be located outside of all visible triangles at intersections and ingress and egress points and shall not be in such a manner as to constitute a traffic or safety hazard. Any fence determined by the Code Enforcement Officer in consultation with the Township Roadway Supervisor to constitute a visibility safety / traffic hazard shall be immediately removed by the property owner upon receipt of notification and order of removal.
- K. Fences shall not be electrified or topped with barbed wire in residential zoned districts. Low wattage stun agricultural fences shall be in accordance with Ohio Revised Code Chapter 971. Commercial and Industrial stun protection fences may be approved and require site plan review and approval by the zoning authority.
- L. Fences shall not be constructed within any identified utility, storm, sanitary, or other easement location. Fences furthermore shall not be constructed within the road right of way of the Township.
- M. Fences shall additionally conform to the regulations as outlined in the American Township Zoning Resolution.

**Additional Requirements:**

- Property owners shall assume responsibility for determining the legal, and proper placement of the fence, wall, or hedge upon his/her property.
- Fences are REQUIRED to be constructed & located **INSIDE** of your property line, and outside of any designated utility easement location.
- Construction of any fence or structure is strictly prohibited within an easement area.
- No fence shall be constructed within the road right of way, nor shall the fence project forward towards the street as to pose a sight visibility hazard to motorists.
- Any fence determined by the Fire Personnel, Law Enforcement Personnel and / or Code Enforcement Officer to be an immediate hazard and/or danger to motorist shall be immediately removed upon notification and site review within the time provided by the Township Official.
- Sufficient space between the property line and fence shall be maintained by the property owner as to allow for care, upkeep and fence maintenance to be conducted within the property owner's own property, without trespassing onto adjoining property owner.
- Property owner is responsible for care, upkeep and maintenance to BOTH sides of fencing. This includes but not limited to grass and weed removal, painting, waterproofing treatment, and routine care / upkeep.
- No fence shall be erected nearer to the street than the rear of the house abutting same; nor shall said fencing be located so as to extend in front of any residence on the lot or lots adjacent thereto.
- All fences and fence panels shall be uniform in make, style and construction.
- Finished side (Flat Side) of fence shall be facing outwards and visible to adjoining properties. The vertical posts shall be on the inside portion of the property and not visible from street, or adjoining properties.
- Fences may be constructed of wood, vinyl, brick, stone, steel, aluminum, or other material as approved by Zoning Inspector. Fence construction shall have a unified appearance and be constructed of same / similar building materials.
- Fences constructed of metal, aluminum, or other steel materials other than chain link shall be subject to review and approval by the Zoning Inspector. Fences and walls are interchangeable for purposes of this section.
- Fences shall not contain an electric charge.
- Barbed wire, razor wire, or any other type of anti-climbing wire shall only be used in the non-residential areas and then only when approved by the Board of Zoning Appeals.
- Materials used for fences shall be of traditional fencing materials (wrought iron, chain link, pressure treated lumber, cedar, redwood, PVC, etc.) and shall be constructed of weather resistant materials or treated so that they are weather resistant.
- Decorative fences less than 32" in height and privacy fence consisting of less than 18 total linear feet do not require a permit.
- Fences constructed on corner lots shall be required to have the same set back distance as required for front yards in the district in which such structure is located.
- Fences shall only be erected in the side or rear yard areas.

- Decorative split rail fencing may be located as near as the road right-of-way. Examples would be split rail post and rails marking the front corners of the property, low stone walls surrounding a front porch or patio or wood or stone retaining walls integrated into landscaping in a sloped yard are examples.
- Chain link fences shall not exceed four (4) feet in height, metal support posts shall not exceed four feet-six inches (4'-6") in height. Chain link fences shall only be erected in the side or rear yard.
- All outdoor pasture/recreation areas shall be enclosed with some form of fencing to prevent the escape of animals. Such fencing must be setback at least eight-(8) feet from all property lines.

**DRAINAGE IMPEDAMENT:**

- **No fence shall be constructed in a Residential, Commercial or Industrial Zoned District as to impede, divert, channelized, or diverted to adjoining properties or change the natural course of storm water drainage. Exception would be a drainage plan as reviewed and approved by the Allen County Storm Water Engineer.**

Signatures	
<p>American Township makes its decision to grant a zoning certificate based on information the applicant presents, should any of the information be incorrect, whether intentional or unintentional the applicants project could be found to be in violation of the American Township Zoning Resolution. Granting a zoning certificate does not guarantee conformance to the zoning resolution but based on representations made by the applicant in the application. Subsequent remedial action could be required to correct non-conformity.</p> <p>I certify the facts, statements and information provided and attached to this application are true and correct to the best of my knowledge and understand the requirements for fence construction. It is the applicant's responsibility to be aware of American Township zoning regulations, as well as Neighborhood Deed Restrictions, and HOA Association Covenants, Conditions, &amp; Restrictions. It is the owner's responsibility to know the location of all property lines as well as ensure the project conforms to Ohio Building Code requirements.</p>	
Contractor / Applicant:	Date:
Owner:	Date:

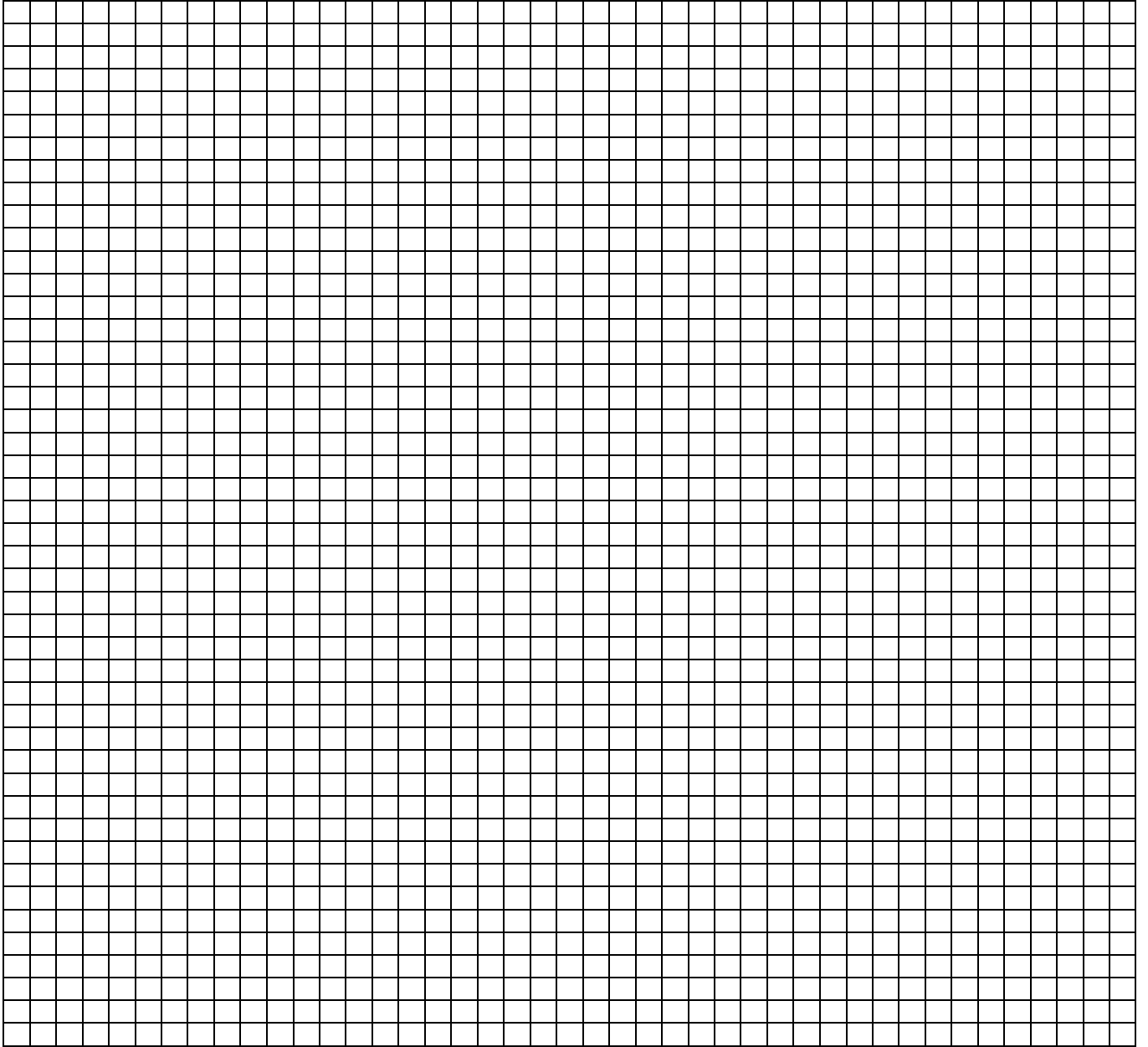
Zoning Inspector		
<input type="checkbox"/> Approved <input type="checkbox"/> Disapproved – Reason: _____ <input type="checkbox"/> Owner to refer to American Township Board of Zoning Appeals.		
Zoning Inspector:	Approval Date:	Expiration Date:
Conditions / Stipulations:		

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SITE DRAWING

A SITE DRAWING IS REQUIRED TO BE SUBMITTED WITH ALL FENCE APPLICATIONS. INDICATE ALL STREETS, IF ON A CORNER LOT LIST BOTH STREETS, SHOW DRIVEWAY, PRINCIPAL RESIDENCE, PROPERTY LINES, LOCATION OF FENCE, MEASUREMENTS OF FENCE LINES, ENSURE EASEMENT AREAS ARE IDENTIFIED AS WELL AS YOUR SETBACK DISTANCE FROM THE PROPERTY LINES. BE AS ACCURATE AND NEAT AS POSSIBLE AS THIS PERMIT APPLICATION IS CONSIDERED A LEGAL DOCUMENT.



SITE PLAN:

- Draw and indicate the name of all streets in front and or side of your residence (if on corner lot).
- Draw and indicate your property lines, also any easement areas on the property.
- Draw House, Driveway, Existing Structures within the grid areas.
- Include any fence areas as well and swimming pools or ponds.
- Indicate length, width, and height of fence structure.
- Indicate with arrow from rear, and both sides of property lines to the proposed structure the length of the setback distance in feet.
- Any other pertinent information needs to be indicated on the site plan.

EXAMPLE - NOT TO SCALE

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