

FENCE CONSTRUCTION PERMIT APPLICATION

PROPERTY INFORMATION: (The Actual Location Where Construction Will Take Place)				STAFF REVIEW:	
Property Owner:				Permit No. _____	
Construction Address:		City / State / Zip:		Application No. _____	
Parcel Number: (Required)	Lot #	Village of Elida?	YES / NO	Approved / Denied _____	
Zoning:	Total Acreage:			Zoning Inspector _____	
APPLICANT INFORMATION:					
Name:					
Address:					
City:	State:		Zip:		
Phone:	Email:				
				Decision Date: _____	
Received Date:		Refer to BZA Y / N			

CONTRACTOR INFORMATION:				Documents Submitted for Review:	
Name:				<input type="checkbox"/> Application	
Address:				<input type="checkbox"/> Fee	
City:	State:		Zip:		
Phone:	Email:				
				<input type="checkbox"/> Site Plan	
				<input type="checkbox"/> Appeal Date (If Applicable): _____	

CONSTRUCTION INFORMATION:		
Describe the Type of Fencing Being Installed: (Example 4 ft. Chain Link Fence with Gate; 4 ft. Fence with Gate Constructed Around In-Ground Swimming Pool; 6ft Residential Privacy Fence) _____		
Fence Height: (Ground to top)	Overall Fence Length:	Fence Material: (Aluminum, Steel, Wood, Vinyl)
Distance from Rear Property Line: (Minimum 5 or 10 Ft. From Rear Easement if Applicable)	Distance from Left Property Line:	Distance from Right Property Line: Y / N
Construction Cost for Project: \$ _____ Regardless of Type of Construction, Costs or Est. Cost has to be submitted and turned over to Allen Co. Auditor		
SPECIAL NOTATIONS		
<ul style="list-style-type: none"> Fencing SHALL NOT be placed within any utility easement area, regardless if the fence was constructed prior to fencing regulations. Any fence constructed in an easement or other restricted area prior to zoning regulations and replaced, all new fencing shall conform to latest version of American Township Zoning Regulations regardless if it placed in same location. Complete fence removal voids the "grandfathered" use. No fencing shall be constructed as to impede, back up, divert, or channel the natural flow of storm drainage. Fencing shall be several inches above common ground to allow for drainage. Owners shall allow sufficient clearance for mowing and maintenance as to not trespass or enter upon adjoining property owners land to facilitate mowing, trimming, and fence maintenance. Fences shall be constructed off the rear corners of the principal structure, home, residence. Fences can not be constructed forward of the rear corners, including gates. Any deviation requires a variance being granted by the Board of Zoning Appeals after a public hearing. We encourage fences to be installed a minimum of a lawn mower width inside your property line for lawn and vegetation as well as fence maintenance. Fences placed on property lines are considered "shared fencing" between property owners, and adjoining property owner has right to hang items, signs, and paint their side of fence. 		

REQUIRED DOCUMENTATION
<ul style="list-style-type: none"> Attached on Page 4 is a graph paper rendering. Show streets facing or side of structure, show principal structure, and driveway. Show property lines and any easement or restricted area in rear or side yard. Indicate location of new fence to include length sections, gates, and other features. Indicate location and distance from all property lines.
Rendering: Submit one (1) color copy of a rendering depicting what the fencing will look like.

IMPORTANT INFORMATION:
Permit Application & Fee: Permit is required for any accessory structure placed on a parcel within American Township. Submit 1 copy of the Fence Construction Permit Application.
Permit fee is \$100.00 for Fence Permit Processing

FENCE REGULATIONS

24.0 PURPOSE

The Purpose of this section is to establish regulations controlling the location, installation and standards for fences in order that a property owner may construct a fence which retains the privilege of privacy. Which allows attractive landscape design, or offers reasonable security while assuring that such fences are located and constructed to respect to the rights and enjoyment of neighboring property owners, the appearance. Of the community, and the overall health, safety, and public welfare of its residents.

24.1 FENCE USE REQUIREMENTS

- a. Fences shall require a permit issued by the American Township Zoning Office. After submitting the application, site plans and permit fees have been paid, permits will be issued. Any false, inaccurate or misleading information submitted in the application will be cause for the permit denial.
- b. No fence, wall, or hedge planting shall interfere with visibility from a driveway. The Zoning Inspector/ Code Enforcement Officer is hereby empowered to cause all such obstructions to be moved in the interest of the public's safety. No fence may be placed such they interfere with street level visibility for 50 feet from any approach to an intersection. No Fence, or wall shall be higher than (32) thirty-two inches within the "sight triangle". See Appendix A-09, Illustration I.

24.2 RESIDENTIAL FENCES

- a. Fences and walls shall always maintain a minimum setback within the property lines. This minimum one-1 foot setback may be waived by the Zoning Inspector, when written permission from the adjacent property owner is received, providing such fence, including its foundation, does not encroach onto adjacent property.
- b. The property owner shall assume responsibility for determining the legal and proper placement of the fence upon his or her property. If the property lines are in dispute, then a property survey shall be required to verify legal property lines. Fences shall be constructed outside any identified utility, storm, sanitary, or other easement location. Fences, furthermore, should not be constructed within the road right of way of the Township.
- c. Residential fences shall be constructed of wood, vinyl, composite, aluminum, iron, or chain link materials. Residential fences shall be constructed at a height not to exceed six-6 feet as measured from the common ground to the top of the fence panel, boards, or post. Chain link fences shall not exceed a height of four-4 feet in height as measured from common ground to the top of the fence within a platted subdivision and six-6 feet in height in non-platted areas. The supporting post for chain link fences may extend no more than 6 inches above the fence fabric height. Guardrails or pallets shall not be used as fencing material.
- d. Fences may be constructed within the rear or side yard areas and shall not extend forward more than the rear corners or the rear of the building line of the principal structure. Fences shall furthermore be built consistently with current placement of adjacent property owners having existing fences so as to produce a uniform placement among property owners. Fences on corner lots, shall have same setback distance from each facing street, i.e. 55 feet from center of each facing street.
- e. Fences shall be uniform and overall construction with the same or similar building materials. Fences may be constructed in either horizontal or vertical pattern, with the flat or finished side facing outward to adjoining properties, with support beams facing inward to the homeowner's property.
- f. Fences shall not be constructed as to block, divert, or channelize storm water runoff to adjacent property owners. Ample spacing on the bottom of the fence shall always be maintained to allow for unimpeded storm water drainage.
- g. Fences shall be located outside of all visible triangles at intersections and ingress and egress points, and it should not be in such a manner as to constitute a Traffic Safety hazard. Any fence determined by the Code Enforcement Officer in consultation with the Township Roadway Supervisor, to constitute a visibility, safety or traffic hazard shall be removed by the property owner upon written notification and order of removal.
- h. Fences shall not be electrified or topped with barbed wire in residential zone districts. Low voltage stun agricultural fences shall be in accordance with Ohio Revised Code Chapter 971. Fences shall not be constructed within any identified utility, storm, sanitary, or other easement location. Fences shall, furthermore, not be constructed within the road right away within the township.
- i. On large estate type lots, open faced decorative wrought iron fencing made of steel, or aluminum may be permitted on lots greater than 5 acres in size based on the integration with the other landscaping scheme on a case-by-case basis and subject to site plan review and approval by the Zoning Inspector. Chain link, panel or shadow box type fencing would not be appropriate use under this section.

24.3 AGRICULTURAL FENCES

- a. Agricultural style fences used for agricultural purposes shall be exempt from the following regulations, however, shall comply with the standards and regulations.
- b. Kentucky 3 or 4 panel rail agricultural style fencing may be constructed along the front and sideline of a parcel, when the parcel is over 5 acres in size. Fence shall furthermore not exceed 60 inches in height. Low voltage stun agricultural fences shall be in accordance with Ohio Revised Code Chapter 971.

24.4 SWIMMING POOL FENCING

- a. Fences around swimming pools or access areas where pool is located shall be walled or fenced in such a manner as to prevent uncontrolled access by children from the street and adjacent properties.
- b. Fences shall be required for in-ground swimming pools and shall be no less than 4 feet in height and no greater than 6 feet in height, constructed with a gate and lock.
- c. Electronic pool covers do not satisfy the wall or fence requirement. Insurance underwriters may require additional fencing and security measures to be used around above and in-ground swimming pools.
- d. Access to swimming pool and decking shall be secured in such a manner as to prevent unauthorized entry or unintentional falls. Examples would be locked gates, secured ladders, secured access to platforms or decking.

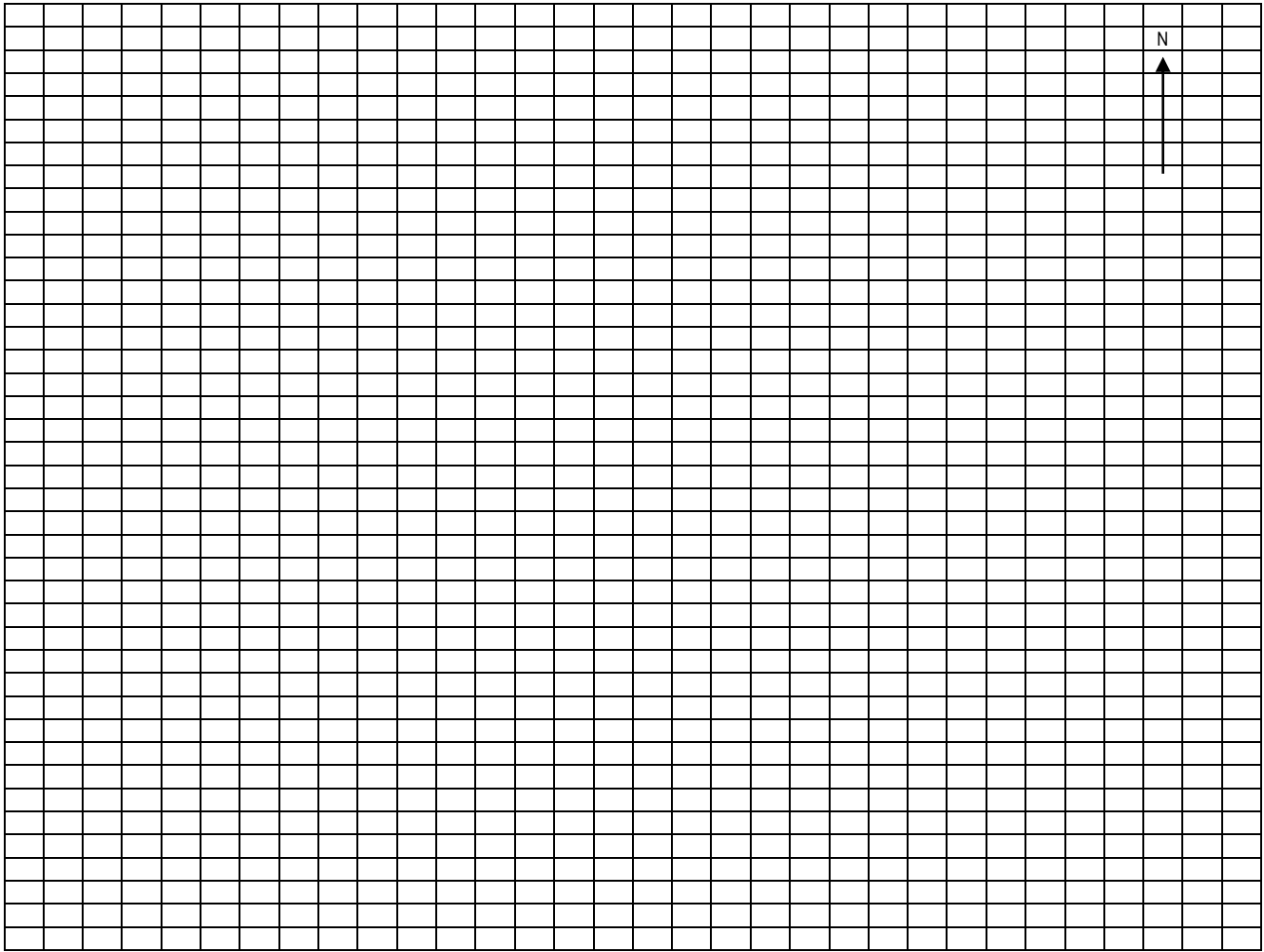
BUSINESS AND MANUFACTURING FENCING

- a. Fences and walls may be erected in any business and manufacturing district shall be in compliance with requirements as set forth below.
- b. Fences and walls shall always maintain a minimum setback within the property lines. This minimum one-foot setback may be waived by the Zoning Inspector, when written permission from the adjacent property owners received provide such fence, including its foundation, shall not encroach upon the adjacent property.
- c. The property owner shall assume responsibility for determining the legal and proper placement of the fence upon his or her property. If the property lines are in dispute, then a property survey shall be required to verify legal property lines.
- d. Fences shall be constructed outside any identified utility, storm, sanitary, or other easement location. Fences, furthermore, should not be constructed within the road right of way of the Township.
- e. All fences shall be located outside all visible triangles at intersections and ingress and egress points and shall not be in such a manner as to constitute a Traffic Safety hazard. Any fence determined by the Code Enforcement Officer in consultation with their Township Roadway Supervisor as to constitute a visibility, safety or traffic hazard, shall be immediately removed by the property owner upon receipt of notification and order of removal.
- f. Approved fencing material includes stone, brick, wood, iron, aluminum and synthetic look alike products. Chain-link shall only be permitted in the rear and side yard to a maximum height of six-foot above the natural grade at the fence location.
- g. Stun style security fencing may be approved in Manufacturing Districts, subject to review and approval by the Zoning Inspector.
- h. Anti-Climb and Barb Wire Topped Fences may be approved in Business and Manufacturing District subject to review and approval of the Zoning Inspector, based on nature of the business, need for additional security, and any other relevant factors.
- i. Toppers shall not exceed the nine-foot height above the natural grade, nor extend beyond property lines, while positioned outwards. The Zoning Inspector upon review of the application and site plan may determine that fencing application requires further review and approval by the Board of Zoning Appeals based on the use of the barbed wire, stun or anti-climb fencing.
- j. Razor wire shall be conditionally permitted by the Board of Zoning Appeals for detention and similar use facilities, located in Manufacturing Districts.
- k. Fences shall be designated, constructed and finished so that the supporting members face the property of the owner of the fence. All fences on a single parcel shall have a unified style along a single plane and all fence segments visible from off premise from any single direction.
- l. **Notice and Right to Appeal the Decision of the Zoning Inspector. If the application for construction is denied, the property owner has the right to appeal this administrative decision within TWENTY-20 DAYS ONLY from the date the decision was rendered by the Zoning Inspector. Relief from this action can be sought by a variance to the zoning resolution or administrative appeal. In both cases, the appellant has 20- days to file a variance or appeal to the Board of Zoning Appeals. You may still appeal or file for a variance after that date, however it will be noted as untimely filed. Appeals, variances and timeliness of appeals are addressed in the Ohio Revised Code.**

Signatures	
<p>American Township makes its decision to grant a zoning certificate based on information the applicant presents, should any of the information be incorrect, whether intentional or unintentional the applicants project could be found to be in violation of the American Township Zoning Resolution. Granting a zoning certificate does not guarantee conformance to the zoning resolution but based on representations made by the applicant in the application. Subsequent remedial action could be required to correct non-conformity. I certify the facts, statements and information provided and attached to this application are true and correct to the best of my knowledge and understand the requirements for accessory building(s). It is the applicant's responsibility to be aware of American Township zoning regulations, Neighborhood Deed Restrictions, and HOA Association Covenants, Conditions, & Restrictions. It is the owner's responsibility to know the location of all property lines as well as ensure the project conforms to Ohio Building Code requirements.</p>	
Contractor / Applicant:	Date:
Owner:	Date:

Zoning Inspector		
<input type="checkbox"/> Approved <input type="checkbox"/> Disapproved – Reason: _____ <input type="checkbox"/> Owner to refer to American Township Board of Zoning Appeals.		
Zoning Inspector:	Approval Date:	Expiration Date:
Conditions / Stipulations:		

SITE DRAWING



SITE DRAWING: AN OVERLAY FROM ALLEN CO. AUDITOR MAY BE USED, SHOW WHERE THE PROPOSED FENCE WILL BE CONSTRUCTED, AND DISTANCE FROM ALL PROPERTY LINES.

- Draw and indicate the name of all streets in front and or side of your residence (if on corner lot).
- Draw and indicate your property lines, also any easement areas on the property.
- Draw House, Driveway, Existing Structures within the grid areas. Include fences, gates, and areas as well and swimming pools or ponds.
- Indicate length and height of proposed fencing.
- Indicate with arrow from rear, and both sides of property lines to the proposed fencing to include the length of the setback distance from the property lines in feet.
- Fencing has to be off the rear corners of the residential structure and may not be forward of the rear build line of the house unless approved by the Board of Zoning Appeals after a public hearing.
- Any other pertinent information needs indicated on site plan.